

**From:** Rachel Timlin <Rachel.Timlin@edinburgh.gov.uk>  
**Sent:** 30 April 2019 12:24  
**To:** planning@grangeassociation.com; Conor MacGreevy  
**Subject:** RE: Gas meter boxes and pipework in Grange Conservation Area: Planning application 19/01627/FUL

Dear Sirs,

Thank you for your email of 15<sup>th</sup> April.

Where a proposal is deemed to be `Not development`, the aims and aspirations of non-statutory guidance cannot be applied whether the building, or land, is within a conservation area or not. Such guidance can only be applied where it is held that a proposal is development and therefore requires the benefit of planning permission. Each case is dealt with on its own merits and is a case of fact and degree. Precedence is not a lawful concept within Planning and I will be required to have regard to the individual circumstances of this application.

I trust this offers some clarity.

Many thanks,  
Rachel

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**From:** planning@grangeassociation.com [mailto:planning@grangeassociation.com]  
**Sent:** 15 April 2019 16:21  
**To:** Conor MacGreevy <Conor.MacGreevy@edinburgh.gov.uk>  
**Cc:** Rachel Timlin <Rachel.Timlin@edinburgh.gov.uk>  
**Subject:** RE: Gas meter boxes and pipework in Grange Conservation Area: Planning application 19/01627/FUL

Dear Conor,

Many thanks for your e-mail which is very helpful. The Handling Report of [19/01066/FUL](#) noted that ..."*the works do not materially affect the external appearance of the building*". I would suggest that the determination of "materially" should be coloured by the non-statutory guidance and its application to the proposal at hand (e.g. gas pipes on a principal elevation). The non-statutory guidance is a material consideration. If a proposal contravenes the Council's own non-statutory guidance, I suggest that it would "materially affect the external appearance of the building". If not, the non-statutory guidance has little value. The effort that went into the production of that guidance was specifically to define what limits of materiality are appropriate (i.e. 450mm maximum of visible gas pipe; horizontal sections must be in the basement area, no meter boxes on the front elevation, etc.). The guidance makes clear that, if the proposal is within those limits, planning permission is not required. The converse must surely also apply, i.e. if the proposal is outwith those limits, planning permission must be sought.

I am not seeking to challenge your decision concerning [19/01066/FUL](#), simply to ensure that a precedent is not set that would negate the guidance given in the Council's published documentation.

With thanks and kind regards,

Nigel Ayton  
Grange Association (Planning)  
0131 662 8720



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**From:** Conor MacGreevy <[Conor.MacGreevy@edinburgh.gov.uk](mailto:Conor.MacGreevy@edinburgh.gov.uk)>

**Sent:** 15 April 2019 15:50

**To:** [planning@grangeassociation.com](mailto:planning@grangeassociation.com); Rachel Timlin <[Rachel.Timlin@edinburgh.gov.uk](mailto:Rachel.Timlin@edinburgh.gov.uk)>

**Subject:** RE: Gas meter boxes and pipework in Grange Conservation Area: Planning application 19/01627/FUL

Good afternoon,

Firstly thank you for your email.

I will respond in relation to the latter half of the email which concerns an application that I had assessed over; the application was determined as not being development under Section 26 of the Town and Country Planning (Scotland) Act 1997, in this instance – this is addressed within the Report of Handling.

I trust Rachel, copied above, will offer clarity in terms of the query relating to her case when she is able to.

Thanks again for your time,

Conor.

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**From:** [planning@grangeassociation.com](mailto:planning@grangeassociation.com) [<mailto:planning@grangeassociation.com>]

**Sent:** 15 April 2019 09:59

**To:** Rachel Timlin <[Rachel.Timlin@edinburgh.gov.uk](mailto:Rachel.Timlin@edinburgh.gov.uk)>

**Cc:** Conor MacGreevy <[Conor.MacGreevy@edinburgh.gov.uk](mailto:Conor.MacGreevy@edinburgh.gov.uk)>; [aah@grangeassociation.com](mailto:aah@grangeassociation.com); 

[secretary@grangeassociation.com](mailto:secretary@grangeassociation.com)

**Subject:** Gas meter boxes and pipework in Grange Conservation Area: Planning application 19/01627/FUL

Dear Rachel,

I see that you are the Case Officer for [19/01627/FUL](#) which is a planning application for a gas meter box on a front elevation in the Grange Conservation Area, at GF1, 5A Palmerston Road EH9 1TL.

This application appears to us to be uncontentious and the applicant is making a pragmatic case for a meter box to be permitted on a front elevation given the mitigating effect of an existing bush that will obscure the meter box from the street view.

However, I am writing to ask that you ensure that the principles set out in the Council's [Guidance on Listed Buildings and Conservation Areas](#) are upheld. Specifically, on page 28:

*"A maximum of a 450mm of supply pipe should be visible on the front wall. External pipes which are both horizontal and vertical must have the horizontal section within the basement areas (where applicable) and not be visible from the street. Holes in stonework must be kept to a minimum and should be made through stone joints, except in the case of "V" jointing or rubble where holes should be in the stonework. Non-ferrous fixings must be used. All redundant surface-run pipe work must be removed and the surfaces made good and painted to match existing materials and colour. **Meter boxes should not be fitted to the front or any conspicuous elevation of buildings.** Pipe work and meter boxes should be painted to match adjacent stone."*

The guidance also makes clear: *"Planning permission is only required where the guidelines [above] cannot be complied with."*

I am writing to ask therefore that, if you are minded to accept this application, you do so by granting planning permission. Please do not determine this application as "Not development". I wrote to your colleague Conor MacGreevy on 5 April concerning application [19/01066/FUL](#) which has been determined as "Not Development", despite this being for a meter box and gas pipework on a principal elevation in the conservation area, contrary to

the guidelines. We are concerned about the precedent this set, implying that residents do not need to apply for permission to run gas pipework up and across principal elevations, nor for the installation of meter boxes on principal elevations in the conservation area. I would ask please that, in your handling report on [19/01627/FUL](#), you make reference to the non-statutory guidance and make clear that it is wholly relevant and that therefore planning permission is required for such installations in conservation areas.



For the avoidance of doubt, I confirm that we have no objection to this proposal. We are content for you to grant planning permission.

With thanks and kind regards,

Nigel Ayton

Nigel Ayton  
Grange Association (Planning)  
0131 662 8720



[The Grange Association](#)  
*The Grange Association area is on ,  
the new community collaboration tool*  
[Members' forum](#)  
 [@TheGrangeAssoc](#)

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