

16 Tantallon Place EH9 1NZ

Planning Application 19/00190/FUL

OBJECTION from Grange Association

25 February 2019

The Grange Association has reviewed application 19/00190/FUL and lodges this objection, taking into account the setting within the Grange Conservation Area of 16 Tantallon Place and the neighbouring properties. The proposals are to build a single-storey extension to the rear and side of this semi-detached property, extending right up to the front elevation, and to create a large dormer window in the rear roof space. There would be new large single-pane windows to the rear on the ground floor and in the second floor dormer.

Materials, roof design and setback

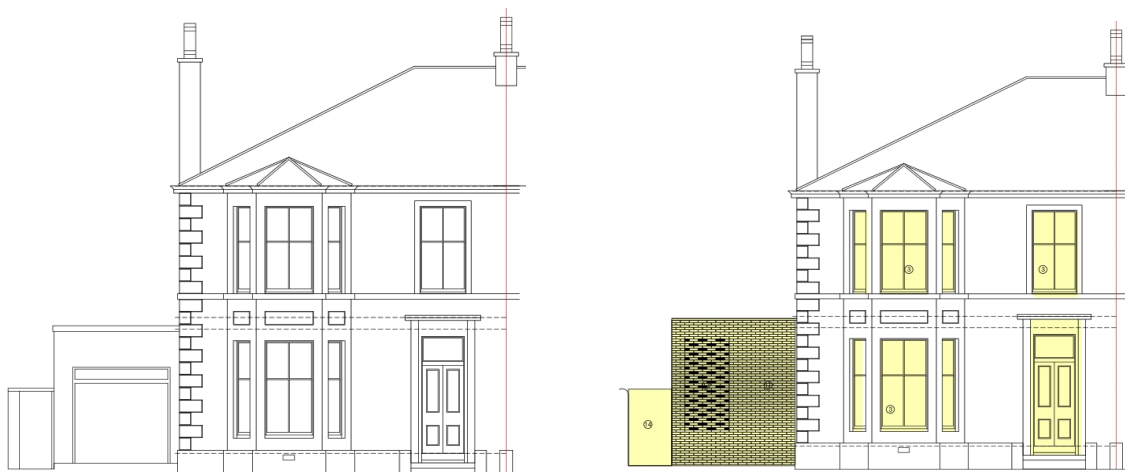
Non-statutory Householder Guidance includes (page 11):

"..the extension should be set behind the front line of the existing dwelling to give a clear definition between the new design and the existing building".

And, on page 16:

"The materials to be used on an extension should normally match exactly those of the existing building. Where the existing building is constructed of stone, natural stone of the same type and colour should be used for the extension."

The front elevation as currently proposed would present an alien addition to the property that would not enhance or preserve the conservation area. The use of Petersen bricks, of much smaller dimensions than the stones of the main property, will jar, regardless of attempts to match colours. The removal of the existing garage will be welcome but the opportunity should not be lost to create a more pleasing front elevation that complements the original house. The current proposal singularly fails to do this both in materials and design.



16 Tantallon Place - Existing and proposed elevations

The existing rear outshot which contains the kitchen presents an example of an extension which already blends well with the main property (with the exception of the unfortunate recent uPVC patio doors), both in materials (stone of similar dimensions) and form (a pitched slate roof). We would urge the applicants to consider a contemporary internal design but using the same external materials (sandstone) and a pitched or hipped slated roof style. The extension as currently proposed would present a box structure with a flat roof that will jar with the characteristic architecture of the street. In addition, the proposal to have the new window in the front elevation partly obscured by the Petersen bricks appears bizarre and certainly would not enhance the conservation area.



We therefore request that the applicants be asked to reconsider the external materials and roof design of the extension. We would also ask that the “Study / Guest Bedroom 004” be deleted from the proposals to allow a significant setback of the extension behind the front elevation.

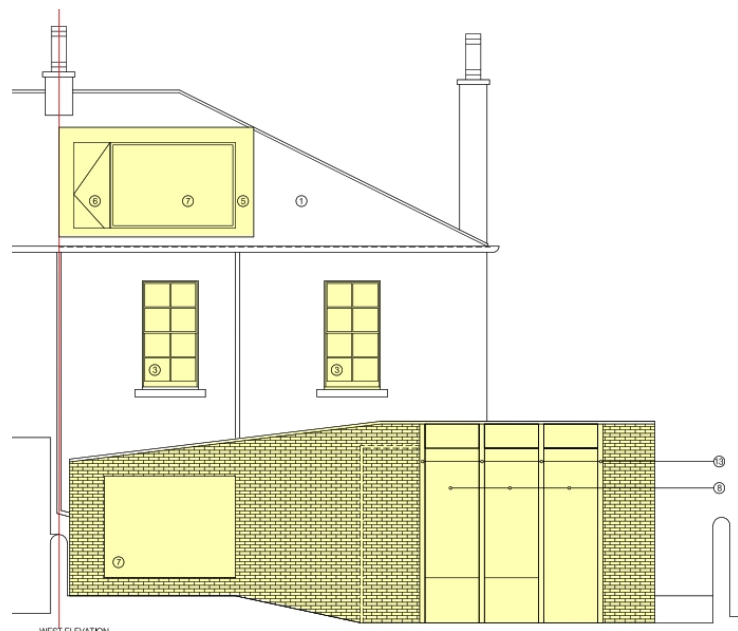
Dormer window

Householder Guidance states (page 17):

“Dormers in conservation areas will be acceptable when they are compatible with the building and the character of the surrounding area. All glazing proportions should match the main house or flat.”

The current proposals include two large single pane expanses of glass in fixed grey aluminium frames. These are incompatible with the character of the house and of the street and **the dormer as currently proposed should be refused.**

New window frames should be timber and painted white. The proposed dormer appears exceptionally large and we would request that a smaller window be considered. In any case, the single dormer pane should be split into smaller units, consistent with the windows below it, even if only by the use of false astragals.



Grange Association
25 February 2019